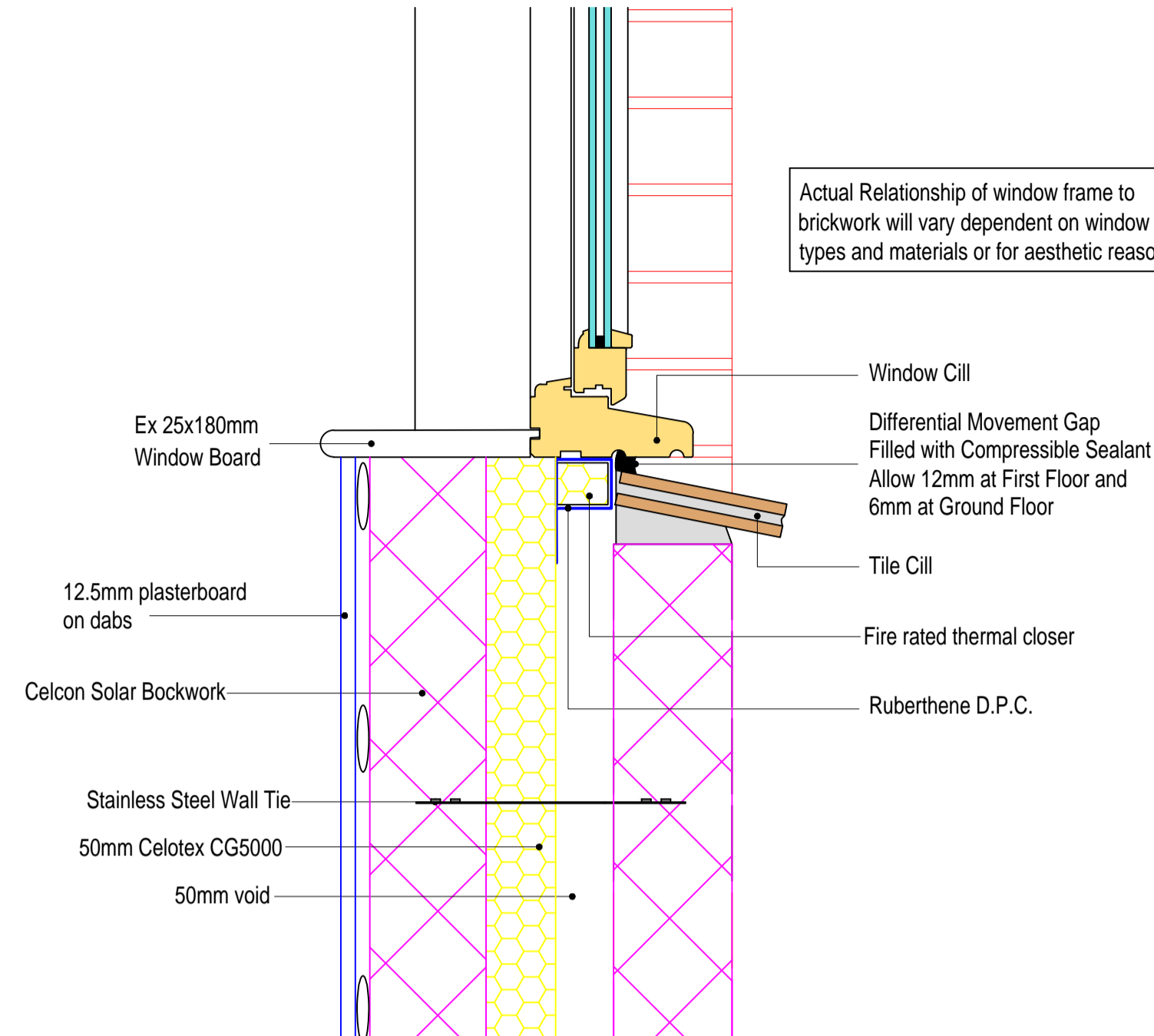
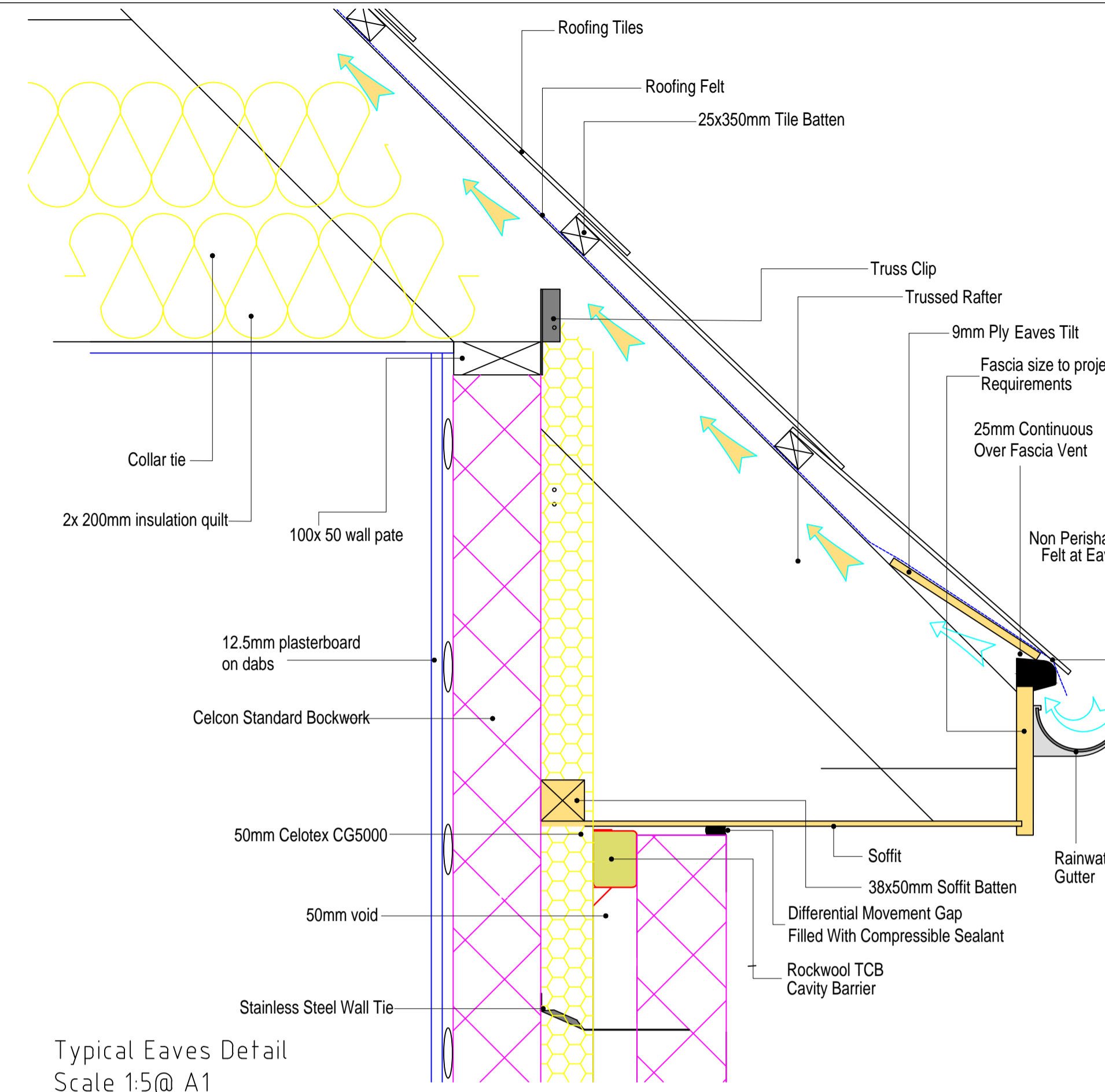


Typical Jamb Detail  
Scale 1:5@ A1

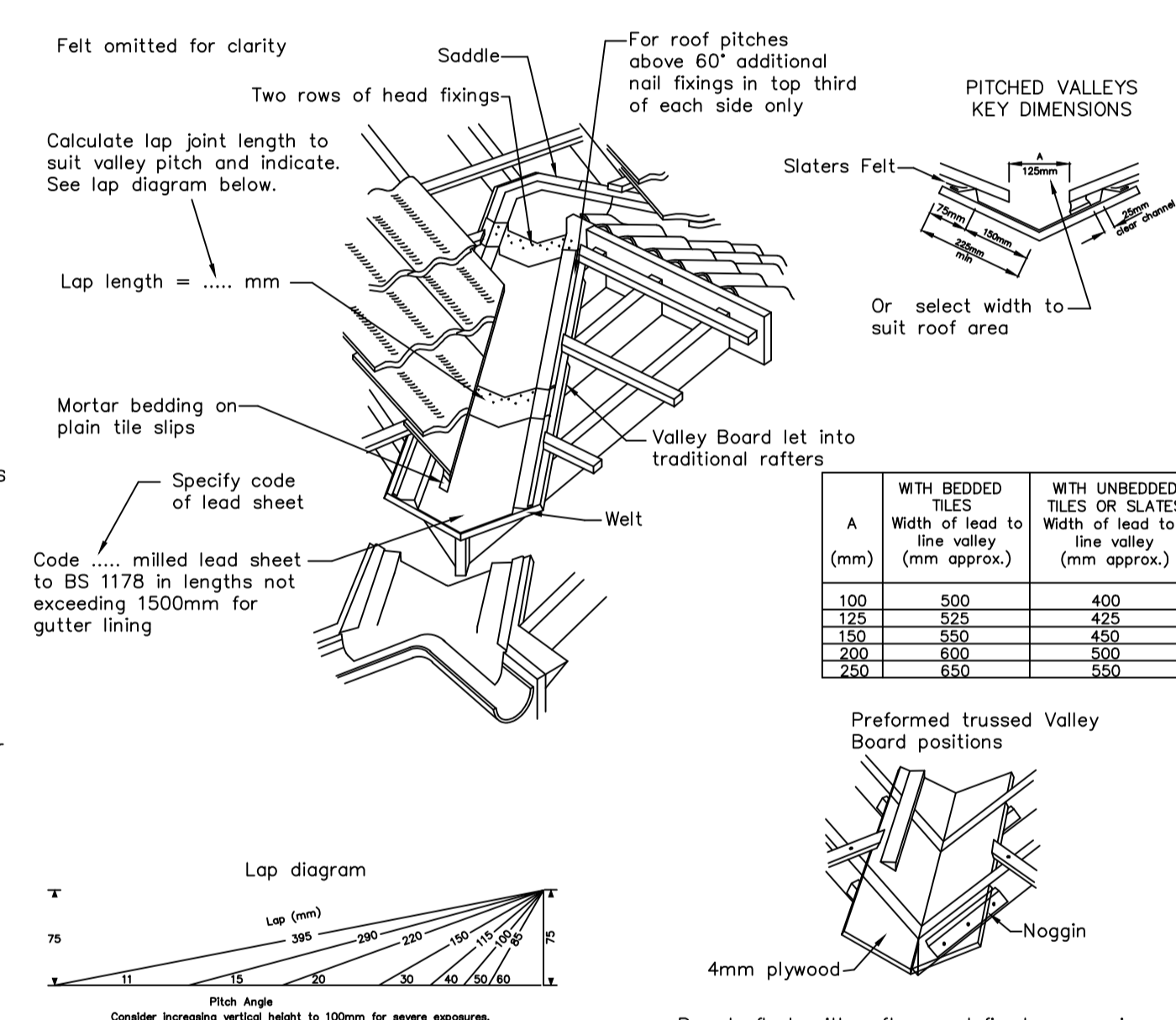


Typical Sill Detail  
Scale 1:5@ A1



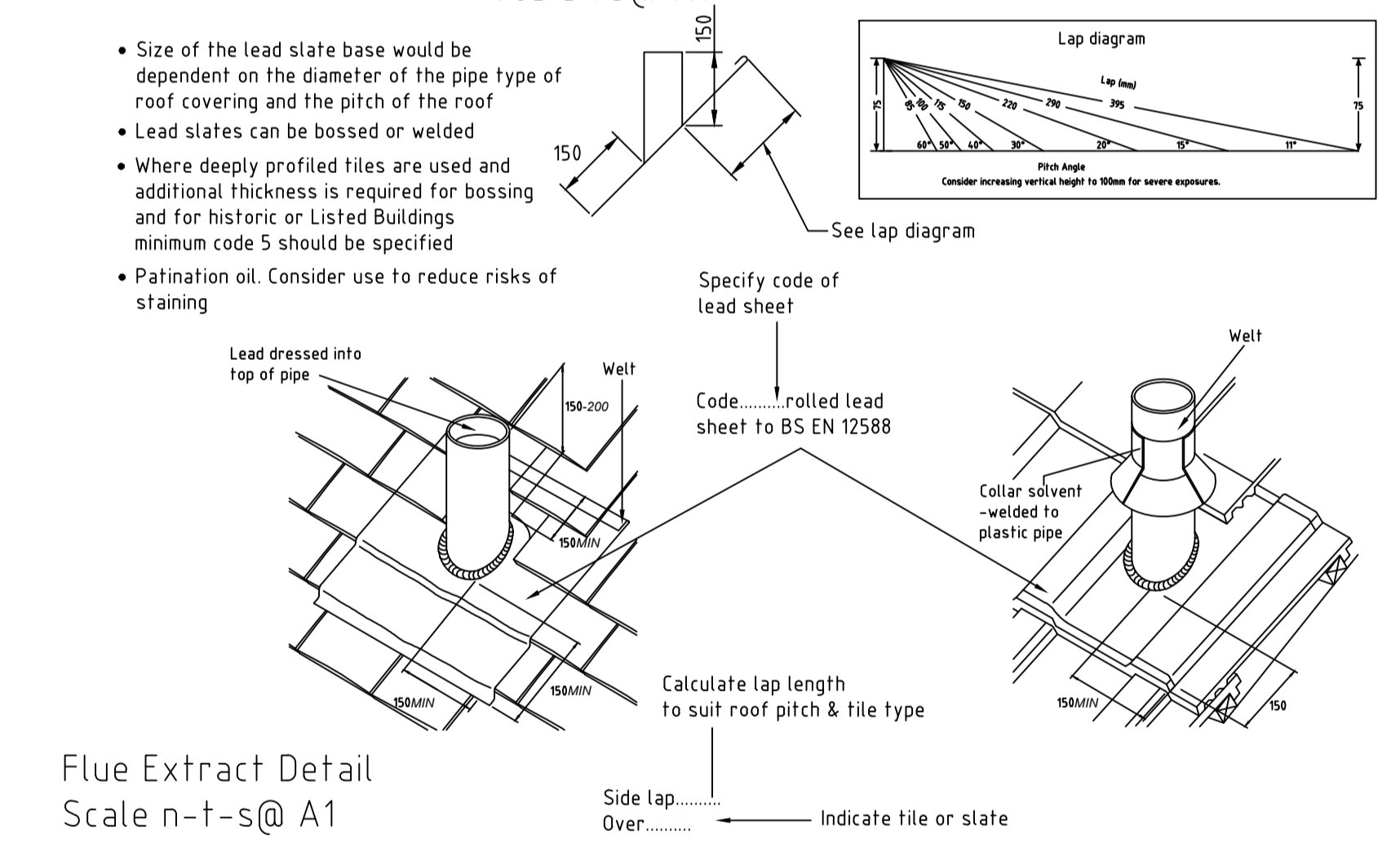
Typical Eaves Detail  
Scale 1:5@ A1

**Note:**  
 1. The Contractor is to be responsible for verifying all dimensions and locations before commencing work.  
 2. All dimensions are to be taken in accordance with the work.  
 3. Any discrepancy is to be reported to the Client immediately.  
 4. All work is to be carried out in accordance with the Building Regulations, Code of Practice, British Standards and the principles of good practice and in line with the requirements of the CDM Regulations.  
 5. All applicable building regulations and approved Building Control plans are to be followed.  
 6. The Contractor (Design and Management) Regulations 1996.  
 7. In accordance with the CDM Regulations the Contractor is to be responsible for the safety of the work.  
 8. The Contractor is to be responsible for the safety of the work.  
 9. The Contractor is to be responsible for the safety of the work.  
 10. The Contractor is to be responsible for the safety of the work.  
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 20. The Contractor is to be responsible for the safety of the work.

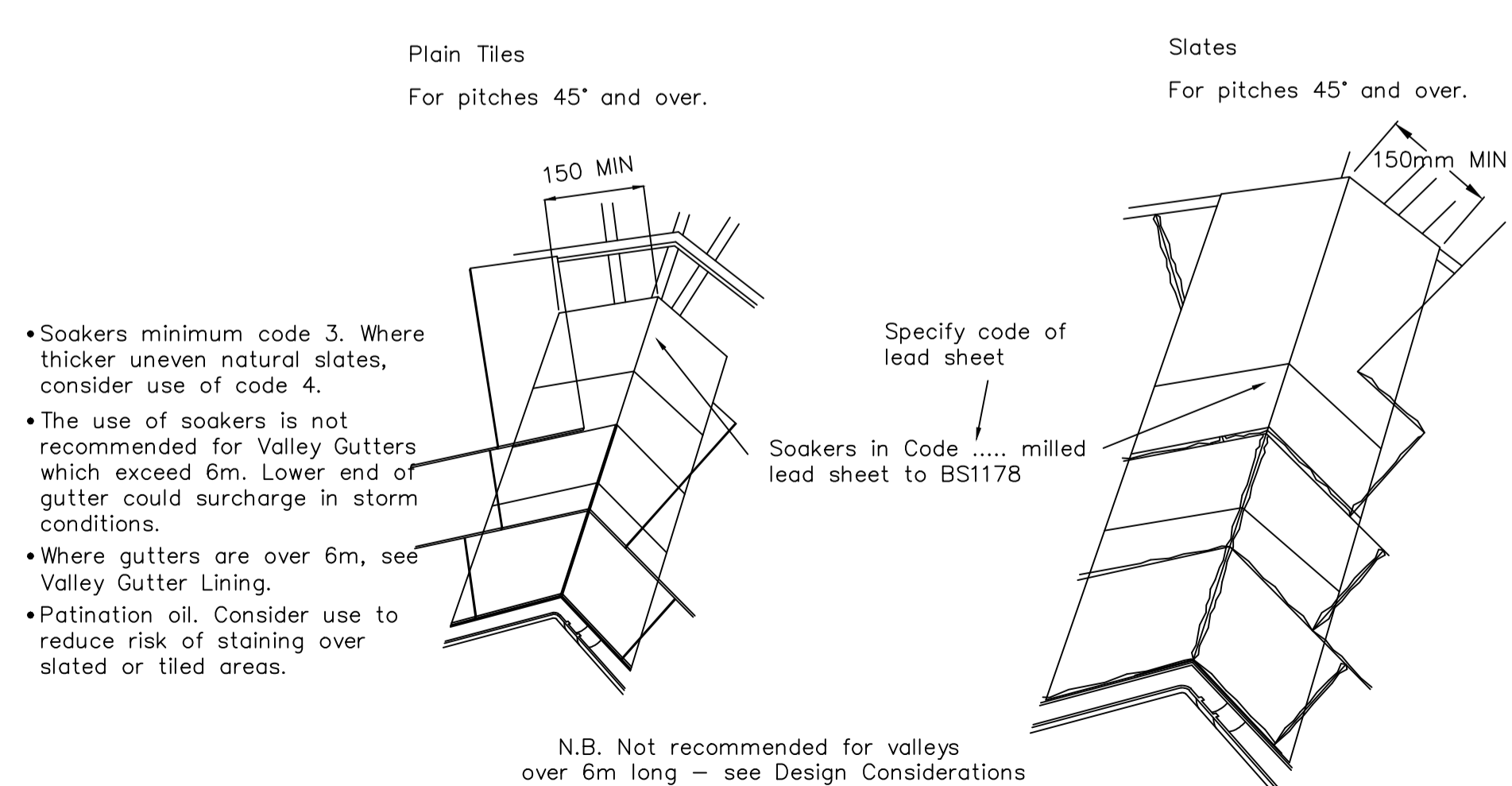


- Ensure tilt fillet height is at least equal to top of the batten
- Width of lining pieces will vary depending on catchment area, see Publication Reference Update 1.
- Gutter linings minimum code 4 in lengths not exceeding 1500mm
- Historic or Listed Buildings minimum of code 5. Where there is a risk that moss and lichen may be present on slates or tiles heavier codes of lead should be specified, i.e. code 6 or 7.
- Slaters felt should terminate over the top of the lining pieces at the tilt fillet area.
- Patination oil. Consider use to reduce risks of staining where water from gutter may discharge over surrounding roof materials.

Valley Gutter Lining  
Scale n-t-s@ A1



Flue Extract Detail  
Scale n-t-s@ A1



Valley Soaker Detail  
Scale n-t-s@ A1

- Durability of lead will depend upon the thickness and size of the piece of lead sheet
- When specifying thickness, also make allowances for:
  - anticipated life of building concerned (longer the life, heavier the code)
  - bossing or dressing
  - vulnerability to wind lift
  - mechanical wear due to foot traffic
  - risks of moss or lichen growth.
- The use of thicker lead in longer pieces can be more economical than using thinner material with additional joints, particularly when detailing gutter linings.
- \*Consider ventilation of the void between the substrate and insulation. Refer to Building Regulations and British Standards 6229 and 5250 for guidance.
- Current British Standard relevant to the installation of Leadwork is BS 6915 : 1988
- If considering Lead Sheet for damp proof course both sides must be treated with bitumastic paint.
- All lead sheet should comply with BS1178 : 1982 milled lead sheet for building purposes.

Thickness of lead sheet for various uses						
Type of Application	Sheltered/Moderate Exposure		Severe Exposure		Historic/Listed Buildings	
	BS1178 code No.	BS1178 code No.	BS1178 code No.	BS1178 code No.	BS1178 code No.	BS1178 code No.
Flat roofing	*	5 or 6	6 or 7	7 or 8	7 or 8	7 or 8
Parapet, box and tapered valley gutters	*	5 or 6	6 or 7	6, 7 or 8	6, 7 or 8	6, 7 or 8
Pitched roofs	*	4, 5 or 6	6 or 7	7 or 8	7 or 8	7 or 8
Vertical cladding	*	4 or 5	5 or 6	6 or 7	6 or 7	6 or 7
Dormer cheeks	*	4 or 5	5 or 6	5, 6 or 7	5, 6 or 7	5, 6 or 7
Dormer roofs	*	4 or 5	5 or 6	6, 7 or 8	6, 7 or 8	6, 7 or 8
Chimney flashings: back gutters		4 or 5	5 or 6	5 or 6	5 or 6	5 or 6
Lead slates		4 or 5	4 or 5	5 or 6	5 or 6	5 or 6
Hip and ridge flashings		4 or 5	5 or 6	6, 7 or 8	6, 7 or 8	6, 7 or 8
Pitched valley gutters		4 or 5	4 or 5	6 or 7	6 or 7	6 or 7
Weatherings to cornices and parapets etc		4 or 5	5 or 6	6 or 7	6 or 7	6 or 7
Damp proof courses		4 or 5	4 or 5	4 or 5	4 or 5	4 or 5
Apron and cover flashings		4 or 5	5 or 6	5, 6 or 7	5, 6 or 7	5, 6 or 7
Soakers		3	3 or 4	3 or 4	3 or 4	3 or 4

CLIENT  
SHANKLIN TOWN COUNCIL

Drawing Title  
BUILDING REGULATIONS

Rev.	Description	Date	Drawn by
2019 / 326 / 04		Mar 2019	Ben Vernon

150 1 2 3 4 5 6 7 8 9 10  
1:100 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20  
1:1250 10 20 30 40 50 60 70 80 90 100

JOB TITLE  
PROPOSED CHANGE OF USE FROM FORMER PUBLIC CONVENIENCE TO LIBRARY TO INCLUDE SINGLE STORY EXTENSION AT FALCON CROSS, ADJACENT FALCON CROSS HALL, SHANKLIN ISLE OF WIGHT

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